

Property Inspection Report

Elite Inspection Services, Inc.

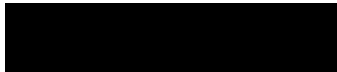
Phone: (847) 347-8538

Fax: (847) 737-7084

www.eisinspect.com



Site Location:



Client:



Inspection Date: 8/30/2019

Job Number: 48.008

Site Conditions:

Inspection Time: 1:30PM

Inspector: Andrew Wilkerson

Attending: Client, Buyer's Agent, Homeowner

Structure Type: Single Family

Utilities: All On

Estimated Age: 90+ Years

Occupancy Status: Occupied

Building Faces: South

Units: 1

Weather at time of inspection: Partly Cloudy

Temperature: 75 deg. F

Soil Condition: Damp

REPORT LIMITATIONS

This report is intended only as a general guide to help the client make his own evaluation of the overall condition of the home, and is not intended to reflect the value of the premises, nor make any representation as to the advisability of purchase. The report expresses the personal opinions of the inspector, based upon his visual impressions of the conditions that existed at the time of the inspection only. The inspection and report are not intended to be technically exhaustive, or to imply that every component was inspected, or that every possible defect was discovered. No disassembly of equipment, opening of walls, moving of furniture, appliances or stored items, or excavation was performed. All components and conditions which by the nature of their location are concealed, camouflaged or difficult to inspect are excluded from the report.

Systems and conditions which are not within the scope of the building inspections include, but are not limited to: formaldehyde, lead paint, asbestos, toxic or flammable materials, and other environmental hazards; pest infestation, playground equipment, efficiency measurement of insulation or heating and cooling equipment, internal or underground drainage or plumbing, any systems which are shut down or otherwise secured; water wells (water quality and quantity) zoning ordinances; intercoms; security systems; heat sensors; cosmetics or building code conformity. Any general comments about these systems and conditions are informational only and do not represent an inspection.

The inspection report should not be construed as a compliance inspection of any governmental or non-governmental codes or regulations. The report is not intended to be a warranty or guarantee of the present or future adequacy or performance of the structure, its systems, or their component parts. This report does not constitute any express or implied warranty of merchantability or fitness for use regarding the condition of the property and it should not be relied upon as such. Any opinions expressed regarding adequacy, capacity, or expected life of components are general estimates based on information about similar components and occasional wide variations are to be expected between such estimates and actual experience.

We certify that our inspectors have no interest, present or contemplated, in this property or its improvement and no involvement with tradespeople or benefits derived from any sales or improvements. To the best of our knowledge and belief, all statements and information in this report are true and correct.

Should any disagreement or dispute arise as a result of this inspection or report, it shall be decided by arbitration and shall be submitted for binding, non-appealable arbitration to the American Arbitration Association in accordance with its Construction Industry Arbitration Rules then obtaining, unless the parties mutually agree otherwise. In the event of a claim, the Client will allow the Inspection Company to inspect the claim prior to any repairs or waive the right to make the claim. Client agrees not to disturb or repair or have repaired anything which may constitute evidence relating to the complaint, except in the case of an emergency.

Elite Inspection Services, Inc.
610 Andrew Lane
Lake Zurich, IL 60047
Phone: (847) 347-8538
Facsimile: (847) 737-7084

Andrew Wilkerson, President

Andrew Wilkerson

Illinois License Number: 450.000579



Table of Contents

Exterior

Roof

Structure

Electrical

Plumbing

Heating

A/C

Kitchen

Bath

Interior

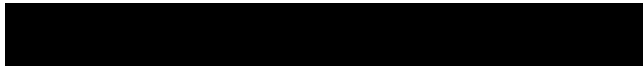
Summary



Exterior

If any conditions are listed, further evaluation of the exterior of the structure is recommended by a qualified contractor. Mold, mildew or any other environmental hazard is not included in this inspection.

- ACCESS:** This section describes any limitations to the inspection. Any home or structure will have limitations if occupied. If any restrictions are noted throughout the report, reinspection may be needed after overcoming the restrictions.
- Access:** Restricted
Conditions: **Stored Items ---** Access to the area listed above was blocked by personal possessions, furniture, objects, or other items. Defects may exist which were hidden by the stored items. Recommend review when conditions permit.
- LANDSCAPING:** Landscaping is inspected only to the extent of which it may affect the house or structure. Landscape maintenance or condition of landscaping is not inspected. Vegetation should be trimmed several times annually to prevent damage to the structure.
- Site:** Level
Conditions: **Grade Above Finish Surface(s) ---** The grade or soil was above the level of the finish surfaces or siding. This may promote rotting (if wood is present) and may increase the chance of entry of wood destroying insects. Proper correction is recommended by qualified tradesman.
Location: east side of house at SE porch area.
Area(s) Of Low Grade --- The grade or ground in one or more areas appears to be low, in a wet location, or may be susceptible to water accumulation. Recommend further evaluation of the grade by a qualified landscape professional and correct as necessary.
Location: the house and yard appears to be lower in grade level than neighboring houses to the east or west.
Underground Drainage System --- An underground drainage/water control system was observed or apparent. These systems can be very complicated and are not able to be evaluated during a typical home inspection.
- Rating:** Summary
- Vegetation:** Trees
Conditions: **Threatening Limbs ---** Tree limbs or vegetation were observed which overhang or contact the overhead electric service wires. This may result in damage to the wires. Proper trimming of the trees or vegetation is recommended by a qualified contractor.
- Rating:** Summary
- PAVED AREAS:** This section includes steps, stoops, sidewalks, walkways, and/or driveways. These areas should be inspected annually for any cracking or displacement and correct as necessary. Areas covered with asphalt should be seal-coated every 2-3 years.
- Sidewalks:** Concrete, Pavers
Conditions: **Reviewed ---** Items in this category were reviewed and appeared serviceable.
- Steps:** Concrete Steps
Conditions: **Unequal Stair Risers/Treads ---** One or more of the stairs risers or treads were of a different dimension than the others which may result in an awkward feel when using the stairs and a possible tripping hazard. Further evaluation and correction by a qualified contractor is recommended.
Location: stairwell steps.
Cracking At Concrete Stairwell --- Cracking and/or settlement was observed at the concrete stairwell walls or slab in one or more locations. Cracking is very



common. Structural deficiency can only be determined by a qualified structural engineer.

Location: NW corner of stairwell.

Rating: Summary

Driveway(s): Asphalt

Conditions: **Cracking At Asphalt Driveway(s)** --- Cracking was observed at asphalt driveway at one or more locations. Cracking of asphalt is typical. Severe cracking or deterioration of asphalt may require repair or replacement of the affected areas.

Location: minor cracking noted at multiple locations.

Rating: Summary

SIDING/TRIM:

Siding/caulking should be inspected annually and corrections made. Brick/masonry structures need tuckpointing maintenance for longevity and should be inspected annually. Paint maintenance should be performed on wood siding/trim every two to three years.

Siding/Masonry: Brick, Stucco, Wood Siding

Conditions: **Engineer Evaluation Recommended** --- Signs of movement, settlement, or possibly inadequate construction was observed in one or more locations. This may adversely affect the building. Further evaluation by a qualified structural engineer is recommended.

Location: deflection was observed at the west wall above the kitchen area. Exact reason for deflection was undetermined. Recommend evaluation of this area by a qualified structural engineer.

Rating: Summary

Trim: Wood

Conditions: **Rotted Wood Trim** --- Rot was noted at wood trim at one or more locations. Rot is the decay of wood in the presence of moisture and fungi. Recommend further evaluation of all trim and proper correction by a qualified contractor.

Location: rot noted at wood trim at multiple locations throughout exterior of house including multiple locations at wood trim pieces within stucco areas.

Rating: Summary

PORCH/DECK/PATIO/BALCONY: This section includes porches, decks, patios, roof decks and balconies. Paint or finish maintenance should be performed as needed on the above-mentioned items. Tuckpointing maintenance should be performed on an ongoing basis on masonry structures.

Patio: Paver Patio(s)

Conditions: **Reviewed** --- Items in this category were reviewed and appeared serviceable.

Deck: Wood Deck

Conditions: **Deck Skirting Present** --- Deck "skirting" was present around all or portions of the deck or porch. Skirting is typically wood or other material that covers the lower portions or underside of the structure. Areas concealed under skirting were therefore not observed or inspected.

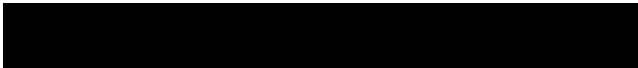
Clean and Seal --- The wood (decking and any wood handrails, balusters, stairs, treads, and stringers) appears to be in need of cleaning and sealing of as part of normal maintenance.

Rating: Summary

WINDOWS:

Windows can be a large source of heat loss in a home or structure. Energy efficiency is not part of this inspection. Annual maintenance is recommended on windows and periodic adjustment may be needed for proper operation.

Type: Wood



Conditions: **Stained** --- Staining was observed in one or more locations. Recommend further evaluation to determine the source of the stain/staining and correct as necessary. The stained area(s) should be monitored and mold testing should be considered. Location: staining noted at upper level loft area west wall center window.
Window Hardware Missing or Damaged --- The window hardware was missing or damaged in one or more locations. Missing or damaged hardware may not allow for proper function. Repair further evaluation and correction/replacement of affected hardware by a qualified window contractor. Location: missing lock at living room south wall center/west window.
Missing Screen(s) --- One or more screens were missing from the window openings. Proper replacement of all missing screens is recommended. Location: missing screens at multiple locations throughout house.
Cracked or Broken Glass --- One or more panes of glass were cracked or broken. This is potentially dangerous. Further evaluation of all windows and correction is recommended by a qualified window specialist. Location: main level SE bedroom south window.
Adjust Window(s) --- One or more windows were either difficult to operate, do not operate smoothly, or are otherwise in need of adjustment. Further evaluation and proper adjustment of windows is recommended by a qualified contractor. Location: main level NE bedroom east window, and dining room west wall north window. Also, a note was posted at the loft area west wall south window that the window did not function and not to operate window.

Rating: Summary

Glazing: Single Glass

EXTERIOR DOORS: Doors are inspected for functionality and condition. The overall strength or fire protection is not able to be evaluated. Exterior doors and door locks should be checked periodically for proper operation.

Entry: Wood

Conditions: **Insufficient Weatherstripping** --- The weather-stripping around the door(s) does not appear to be sufficient. This may reduce the thermal efficiency of the structure and causes higher energy bills. Recommend installation of additional weatherstripping for added energy efficiency. Location: all SE porch area doors.
Door Adjustment Recommended --- One or more doors do not appear to be operating properly. Proper adjustment/correction is recommended for ease of operation. Location: minor adjustment recommended at front entry door.

Rating: Summary

Storm Door: Storm/Screen Door

Conditions: **Adjust Storm Door(s)** --- One or more of the storm or screen doors are in need of adjustment for proper operation (opening and closing of doors). Location: adjustment recommended at SE corner porch area east side north storm doors as door were loose.

Rating: Summary

GARAGE: Standard inspections cover one attached or one detached garage or carport. Garages are not considered habitable, and conditions are reported accordingly. Garage structure should be inspected annually and any corrections made as necessary.

Garage: Detached Garage

Conditions: **Stored Items** --- Access to the area listed above was blocked by personal possessions, furniture, objects, or other items. Defects may exist which were hidden by the stored items. Recommend review when conditions permit.
Typical Floor Cracking --- Floor cracking was observed in one or more locations. This is not unusual and typically does not indicate a structural deficiency. Recommend monitoring and repairing as necessary.



Rotted Wood Trim --- Rot was noted at wood trim at one or more locations. Rot is the decay of wood in the presence of moisture and fungi. Recommend further evaluation of all trim and proper correction by a qualified contractor.

Location: minor rot noted at wood trim at multiple locations.

Stained --- Staining was observed in one or more locations. Recommend further evaluation to determine the source of the stain/staining and correct as necessary. The stained area(s) should be monitored and mold testing should be considered.

Location: typical staining noted throughout interior of garage.

Deteriorated Mortar Joint(s) --- Mortar joints were observed to be deteriorated, damaged, or open in one or more locations. This will likely require repair or tuckpointing. Recommend further evaluation and correction by a qualified masonry contractor.

Location: north side of garage.

Rating: Summary

Cars: 1

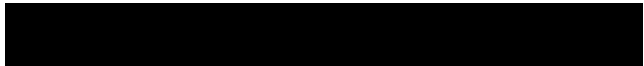
Doors: Wood

Conditions: **Door Spring Safety Cable Missing** --- One or more garage door springs were missing their respective safety cable which contains the spring should the spring fail. These are safety devices. Recommend evaluation and correction of door springs by a qualified garage door specialist.

Rating: Summary

Opener: Automatic

Conditions: **Operable Auto-Reverse** --- The auto reversing device(s) on the automatic garage door opener(s) were functioning normally when tested. Periodic testing and adjustment of opener may be necessary for proper functioning over time.



Roof

This report is not a warranty of the roof in any way. If any conditions are listed, further evaluation of the roof and roof system is recommended by a qualified roofing contractor. Mold or other environmental hazard is not included in this inspection.

ACCESS:	This section describes the limitations for access to the roof (if any). If severely limited, a reinspection should be performed once the restrictions have been removed or overcome.
Access:	Restricted
Conditions:	Metal Roofing Material --- The roofing material was metal. Metal roofs typically are not designed to be walked as this may damage the roof or tiles. For a full evaluation of the roof a qualified roofing contractor should be contacted.
STYLE:	The predominant roof style of the structure.
Type:	Gable
COVERING:	The covering(s) is the type of roof material(s). The Life expectancy of different roofs vary greatly. Roofs should be inspected annually for any damage or any needed maintenance. Roofs should be kept clear of debris. Some roofs should not be walked.
Material:	Metal
Conditions:	Metal Roofing Material --- The roofing material was metal. Metal roofs typically are not designed to be walked as this may damage the roof or tiles. For a full evaluation of the roof a qualified roofing contractor should be contacted. Rafter Deflection Observed --- One or more rafters were observed to have deflection (sagging or bowing). Reason for deflection could not be determined. Recommend further evaluation and correction by a qualified framing contractor or other qualified professional. Location: east gable roof. Moss On Roof --- Moss was observed on the roof surface(s) at one or more locations. Moss growth may have adverse effects on the roofing material. Recommend evaluation and correction or cleaning/removal of moss by a qualified contractor. Location: east side of south gable roof. Exposed Fasteners --- Exposed fasteners were observed on roof(s) at one or more locations. This may lead to roof leaks over time (if not presently leaking). Recommend further evaluation and correction of exposed fasteners by a qualified roofing contractor. Location: exposed fasteners noted at multiple locations throughout entire roof.
Rating:	Summary
VIEWED FROM:	This section describes the method the inspector used to examine the roof. Due to weather, roof types, and access, some roofs are not able to be walked.
Method:	Ground
Conditions:	Roof Viewed From Ground --- The roof (and components on the roof including but not limited to: roofing/shingles, flashing, chimney(s), skylights, gutters, downspouts, vents/fans) was viewed from the ground. Components of the roof system may not have been fully visible.
OVERHANG:	Overhang describes soffits and fascia. This area is important for proper ventilation of the roof and water removal. If these items are constructed of wood, annual painting maintenance is recommended for longevity.
Fascia:	Wood



Conditions: **Rotted Wood Fascia(s)** --- Rot was fascia was noted in one or more locations. Rot is the decay of wood in the presence of moisture and fungi. Recommend further evaluation of all trim and proper correction by a qualified contractor. Location: rot noted at wood fascia at multiple locations throughout exterior of house.

Rating: Summary

Soffits: Wood

Conditions: **Reviewed** --- Items in this category were reviewed and appeared serviceable.

FLASHING:

Flashing is the material used to seal the junction of the main roof material and items such as chimneys or vents. It is also used where roof sections join (valleys), the most common area for leaks to occur. Flashings should be inspected annually.

Type: Metal

Conditions: **Flashing(s) Improperly Installed** --- The flashing(s) were observed to be improperly installed in one or more locations. Improperly installed flashings may lead to leaks or water penetration. Recommend further evaluation of flashings by a qualified contractor and correct as necessary. Location: at metal vent at north side of roof just east of NE roof valley.

Rating: Summary

DRAINAGE:

Gutters are used to shed water from the roof away from the structure. Water close to the foundation may lead to foundation seepage. It is important to keep downspouts extended away from the house and semi-annual cleaning of the gutters is recommended.

Gutters: Aluminum

Conditions: **Bird/Animal Nest** --- Bird or animal nest(s) were observed at one or more locations. Further evaluation by a qualified animal control specialist is recommended to determine occupancy of nest(s) and properly remove nest(s) and animal(s) if present. Location: north side of house above basement stairwell.

Rating: Summary

Down Spouts: Aluminum

Conditions: **Discharge Underground** --- One or more downspouts were observed to be discharging into a below grade drainage system. The drainage system is inaccessible and therefore not inspected. These systems should be inspected periodically for damage and debris.

VENTILATION:

This section includes the type of ventilation for the attic. Proper ventilation is important for maximum life of the roof covering and framing materials. Roof ventilation should be inspected periodically to ensure proper venting.

Type: Gable, Attic Fan

Conditions: **Attic Fan Present** --- An attic fan was present. These are usually thermostatically controlled and set to operate when the attic temperature is 90 to 100 degrees F. They will not normally operate when the attic temperature is below 60 degrees F.

FLUES/VENTS:

If any conditions are reported under the Chimney section, further evaluation is recommended by a qualified CSIA (Chimney Safety Institute of America) certified chimney sweep. Vents are used to vent the plumbing system to atmosphere.

Chimney: Brick/Clay Tile Flue

Conditions: **Reviewed** --- Items in this category were reviewed and appeared serviceable.

Plumbing: Observed



SKYLIGHTS:

This section describes any skylights that are present. Skylights should be inspected annually for proper maintenance. Also, skylights and skylight flashings should be inspected annually by a qualified roofing contractor.

Type:

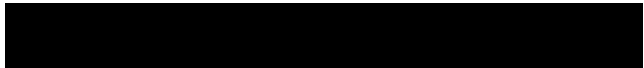
Glass Skylight

Conditions:

Lost Seal(s) At Skylight(s) --- One or more skylights were observed to have "lost seals", in which air leaks into the sealed glass and causes fogging or condensation to form between the panes of glass. Replacement of the glazing unit(s) is the typical correction for this.

Rating:

Summary



Structure

This inspection is based on observation of the visible portions of the foundation. If any conditions are listed, further evaluation and correction is recommended by a qualified contractor. Mold or environmental hazards are not part of this inspection.

ACCESS: This section describes the restrictions (if any) to the inspection of the foundation. If severe restrictions existed, they should be overcome and a reinspection performed.

Access: Restricted
Conditions: **Stored Items** --- Access to the area listed above was blocked by personal possessions, furniture, objects, or other items. Defects may exist which were hidden by the stored items. Recommend review when conditions permit.
Foundation Wall(s) Painted --- One or more foundation walls were either partially or fully painted, stained, or otherwise covered or concealed. Defects may be present under the paint or finish which were not able to be observed.
Foundation Inaccessible --- Due to the design or construction of the home or structure, the structural components were inaccessible. Therefore, the structural component types, materials, and condition were not observed. Further evaluation is recommended.
Location: the foundation under the east side of the small enclosed porch area at the SE corner of the house was inaccessible. Foundation type and condition were unable to be determined.
Foundation Encapsulation System Present --- A foundation "encapsulation system" was present. These systems typically use a membrane system to protect the foundation from moisture intrusion. Periodic inspections are recommended, and maintenance may be necessary.
Location: Foundation encapsulation present throughout crawlspace.
Finished Basement --- The basement was either partially or fully finished. The foundation could not be fully reviewed or was observed on only a limited basis; defects may be hidden by the finishes.
Rating: Comment/Information

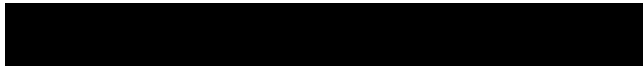
FOUNDATION: Foundation refers to the supporting material under the house or structure. Structural integrity of structures can only be determined by a structural engineer. Annual inspections should be performed along with any needed maintenance.

Type: Basement, Crawlspace
Conditions: **Stored Items** --- Access to the area listed above was blocked by personal possessions, furniture, objects, or other items. Defects may exist which were hidden by the stored items. Recommend review when conditions permit.
Finished Basement --- The basement was either partially or fully finished. The foundation could not be fully reviewed or was observed on only a limited basis; defects may be hidden by the finishes.
Epoxy Grouted Cracks --- One or more cracks appeared to have been professionally sealed/grouted with epoxy (or other sealing method). This type of repair is usually very successful in stopping water infiltration. Recommend monitoring and repair as needed.
Location: basement laundry room area west wall.
Rating: Summary

Materials: Concrete and Brick

FLOORS: This section refers to the foundation floor(s), primarily in the areas of support and construction, such as basement or crawlspace floor(s). Annual inspection and maintenance should be performed.

Joist: Wood



Conditions: **Finished Basement** --- The basement was either partially or fully finished. The foundation could not be fully reviewed or was observed on only a limited basis; defects may be hidden by the finishes.

Beam: Not Observed
Conditions: **Finished Basement** --- The basement was either partially or fully finished. The foundation could not be fully reviewed or was observed on only a limited basis; defects may be hidden by the finishes.

Sub Floor: Wood Boards
Conditions: **Finished Basement** --- The basement was either partially or fully finished. The foundation could not be fully reviewed or was observed on only a limited basis; defects may be hidden by the finishes.

Column: Not Observed
Conditions: **Finished Basement** --- The basement was either partially or fully finished. The foundation could not be fully reviewed or was observed on only a limited basis; defects may be hidden by the finishes.

Foundation Floor: Concrete
Conditions: **Covered With Finish Materials** --- This area was either partially or fully covered with carpeting or other finish material and therefore could not be fully inspected. Defects may be present under the finish materials which are not able to be observed.

VENTILATION: Ventilation (if present) is evaluated in this section. This section includes basement windows and crawlspace ventilation. Crawlspace vents (if present) should be inspected annually.

Window(s): Basement Window(s)
Conditions: **Reviewed** --- Items in this category were reviewed and appeared serviceable.

Vent(s): Crawlspace Vent(s)
Conditions: **Reviewed** --- Items in this category were reviewed and appeared serviceable.

WATER CONTROL: Annual evaluation of the property and structure are recommended for proper drainage. Proper water control reduces the amount of water entry and provides for its removal. Underground water drainage systems of any type are excluded from this inspection.

Methods: Drain Tile System
Conditions: **Interior Drain Tile System Present** --- An interior drain tile system present. These systems are typically a retrofit system for houses that did not originally have drain tile systems. Due to the system being installed under the foundation floor, they often cannot be fully inspected.
Location: apparently, a very elaborate drain tile system was installed throughout the foundation to alleviate recurring flooding problems. The system is apparently under warranty.

Rating: Comment/Information



Electrical

If any conditions are listed, further evaluation of the electrical system is recommended by a qualified electrician. Annual inspections of the entire electrical system is recommended by a qualified electrical contractor.

ACCESS: This section describes the limitations (if any) of the electrical inspection.

Access: Restricted
Conditions: **Finished Basement** --- The basement was either partially or fully finished. The foundation could not be fully reviewed or was observed on only a limited basis; defects may be hidden by the finishes.
Stored Items --- Access to the area listed above was blocked by personal possessions, furniture, objects, or other items. Defects may exist which were hidden by the stored items. Recommend review when conditions permit.

SERVICE: Exterior service up to and including the meter may be the responsibility of the local power company. If any conditions are noted, review and correction by a qualified electrician is recommended.

Type: Overhead
Conditions: **Threatening Limbs** --- Tree limbs or vegetation were observed which overhang or contact the overhead electric service wires. This may result in damage to the wires. Proper trimming of the trees or vegetation is recommended by a qualified contractor.
Rating: Summary

Entrance Mat: Copper
Conditions: **No Main Breaker** --- No main breaker (or fuse) was noted for the electric panel. Typically an electric panel should have a main breaker (or fuse) at the panel for safety. Further evaluation and correction is recommended by a qualified electrician.
Comments: The main breaker appears to be at the meter outside. The meter cabinet, however was locked. The amperage of the service was therefore unable to be determined.
Rating: Comment/Information

Ground: Present

MAIN PANEL: The electric panel is the main distribution center of electricity in the building. Any amperage rating given in this report is an estimate only and exact amperage rating (of the panel or system) can only be determined by a qualified electrician.

Type: Breaker
Conditions: **Double Tap(s)** --- One or more breakers or fuses were double tapped (having two or more wires connected to one circuit). Further evaluation and correction is recommended by a qualified electrician. Numerous double taps may indicate the panel should be upgraded.
Location: one double tap noted in panel.
Rating: Summary

Location: Basement

Volts: 120/240

BRANCH WIRING: Branch wiring is the wiring connecting the main panel to junction boxes, lights, receptacles, and switches. Because much of it is hidden, only the visible portions are examined. Wiring connections should be periodically inspected and corrections made.



Type: Conduit, BX, Romex
Conditions: **Abandoned Wiring** --- Abandoned wires, wire sheathing, or conduit were observed at one or more locations. Further evaluation of apparently abandoned wires is recommended by a qualified electrician and remove as necessary.
Location: exterior east side of house south of A/C units.
Open Junction Box --- One or more junction boxes (electrical connection boxes) were noted without a proper cover. This may create a potential safety hazard. Covering of all open junction boxes is recommended with a proper fitting cover.
Location: basement furnace room ceiling above boiler.
Romex Not In Conduit --- Plastic sheathed wiring (Romex) was noted in one or more areas. This type of wiring is typically not allowed for use in this area. Recommend further evaluation of the electrical branch system by a qualified electrician and correct/repair as necessary.
Location: basement furnace room ceiling just west of boiler.
Surface Mounted Electric Raceway --- Surface-mounted electric channel was present in one or more locations. This type of wiring can be used in certain conditions however is not a typical installation. Recommend evaluation by a qualified electrician for information and repair solutions.
Location: upper level east bedroom north and east walls and upper level loft area west and south walls.

Rating: Summary

Material: Copper

ELECTRICAL COMPONENTS: The inspection covers a representative number of electrical components. Annual evaluations of electrical system and components is recommended for proper operation of all devices.

Receptacles: Outlets (Receptacles)
Conditions: **Tested** --- A representative number of items in the above-mentioned category were tested.

Fixtures: Fixtures
Conditions: **Lights Not Functional** --- One or more of the light fixtures were observed to be non-functional. This likely indicates that the bulbs will require replacement. However, other corrective measures may be required.
Location: basement stairwell steps.
Light/Fan In Shower --- One or more lights or exhaust fans were installed within the shower/tub surround area. This is not a typical installation. Recommend evaluation by a qualified electrician and possible relocation outside of the shower/tub surround.
Location: basement bathroom.

Rating: Summary

Switches: Switches
Conditions: **Tested** --- A representative number of items in the above-mentioned category were tested.

GFCI:
Conditions: **Tested GFCI** --- The GFCI (Ground Fault Circuit Interrupter) devices which were present were tested.

Smoke/CO:
Conditions: **Smoke Detector Present** --- Smoke detector(s) were present. Be sure to test/check smoke detectors and change the batteries in accordance with manufacturers instructions.
No CO Detector Present --- No carbon monoxide (CO) detectors were observed. Illinois State law requires at least one operable CO detector installed within 15 feet of each bedroom on most residences with few exceptions. Proper installation of CO detector(s) is recommended.

Rating: Summary



Plumbing

If any conditions are listed, further evaluation of the plumbing system is recommended by a qualified plumbing contractor. Water quality, well systems, septic systems, or water volume are not included in this inspection.

ACCESS: This section covers restrictions (if any) to the inspection of the plumbing system. If restricted be sure to have plumbing checked when reactivated.

Access: Restricted
Conditions: **Finished Basement** --- The basement was either partially or fully finished. The foundation could not be fully reviewed or was observed on only a limited basis; defects may be hidden by the finishes.
Stored Items --- Access to the area listed above was blocked by personal possessions, furniture, objects, or other items. Defects may exist which were hidden by the stored items. Recommend review when conditions permit.

WASTE/WATER: This section describes the type of water supply and waste system for the structure.

Waste Type: Public

Water Type: Public

MAIN SUPPLY: This section covers the type and material of the main water supply. Learn where your shutoff valve is! If a supply line ruptures, extensive water damage can occur rapidly.

Material: Copper

Shutoff: Basement

SUPPLY PIPING: This section describes the water supply lines for drinking water (if applicable) as well as the water supplying sinks, tubs/showers, toilets, exterior hose bibbs, etc.

Piping Mat: Copper
Conditions: **Abandoned Piping** --- Appeared to be abandoned plumbing (supply or waste lines) or equipment in one or more locations. Evaluation (and verification) of abandoned piping/equipment is recommended by a qualified plumbing contractor. Removal may be required.
Location: garage SE corner.
Saddle Valve Present --- One or more "saddle valves" were present. Saddle valves are typically self-tapping valves held in place with clamps and are typically not allowed for use in this area. Recommend evaluation by a qualified plumbing contractor.

Location: basement furnace room ceiling south of water heater.

Hose Bibb Shut Off --- One or more of the outside hose bibbs (garden hose spigots) was shut off, disconnected, or otherwise non-functional when tested. Recommend further evaluation of hose bibbs by a qualified plumbing contractor to determine proper operation of hose bibbs.

Location: east side of house.

Rating: Summary

WASTE PIPING: The waste lines from the property are unable to be viewed or inspected. For a full inspection of the waste lines, a video inspection of the waste lines is recommended by a qualified plumbing contractor.

Piping Material: Multiple Types



Conditions: **Recommend Sewer-Scope** --- Recommend the main sewer lines by "video-inspected" by a qualified plumbing contractor. A "sewer-scope" will help determine the condition of the main sewer pipe and help determine if the system is functioning as designed.

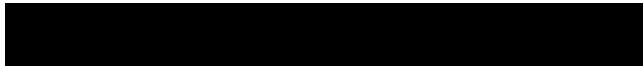
WATER HEATER: The hot water supply system is inspected where visible. Interior heating elements (if any) are not examined.

Type: Gas
Conditions: **Reviewed** --- Items in this category were reviewed and appeared serviceable.

Size (Gallons): 75

AGE: Approx. Age

(years): 2 Years



Heating

The heating system typically requires annual maintenance and servicing. If any conditions are listed, further evaluation of the HVAC system is recommended by a qualified heating contractor.

ACCESS: This section describes the restrictions (if any) to the inspection of the heating system.

Access: Restricted
Conditions: **Stored Items** --- Access to the area listed above was blocked by personal possessions, furniture, objects, or other items. Defects may exist which were hidden by the stored items. Recommend review when conditions permit.
Finished Basement --- The basement was either partially or fully finished. The foundation could not be fully reviewed or was observed on only a limited basis; defects may be hidden by the finishes.
Heat Operation Not Verified --- The heating system was off during the inspection and operation of individual heating units was not able to be verified during the inspection. Further evaluation by a qualified contractor and testing of heating system is recommended.

SERVICE: All heating equipment should be cleaned and serviced annually for proper function and longevity of the system.

Location: Basement

Age: 3 Years

HYDRONIC: Hydronic systems circulate hot water or steam throughout the living spaces.

Boiler:
Conditions: **Flue Gap at Chimney** --- The gap or opening where the metal flue enters the chimney should be properly grouted or sealed to prevent the possible backdrafting of flue gas into the building.
Location: a large gap was present between the flue and the chimney at the north wall of the basement furnace room.

Comments: Boiler was Crown brand, 210,000 BTU.

Rating: Summary

Distribution: Radiator
Conditions: **Possible Asbestos** --- Insulation/material was observed which may possibly contain asbestos. Further evaluation of the home/structure and testing of any material in question is recommended by a qualified specialist.
Encapsulation/removal may be necessary.
Location: possible asbestos observed at the east side of the upper level east bedroom south closet/attic area.

Heat Operation Not Verified --- The heating system was off during the inspection and operation of individual heating units was not able to be verified during the inspection. Further evaluation by a qualified contractor and testing of heating system is recommended.

Radiator Cover(s) Present --- One or more radiator covers were present which cover the radiators. Radiator covers restrict access to full viewing of the radiators and the corresponding valves and connections.

Location: radiator covers present on most radiators throughout house.

Rating: Summary

FUEL: This section reports the type or types of fuel in use.

Fuel Type: Natural Gas



Fuel Valve: At Gas Meter

THERMOSTAT: This section reports the type and condition of the thermostat for the primary heating system of the structure. On electronic thermostats, the battery should be changed periodically.

Type: Electronic

Location: Dining Room

FIREPLACE(S)/STOVE(S): This section reports on fireplace(s) and/or Stove(s). Gas starters are not tested due to safety concerns. If any conditions are listed, further evaluation is recommended by a Chimney Safety Institute of America (CSIA) certified chimney sweep.

Fireplace: Masonry

Conditions: **Firebox Repairs Recommended** --- The interior of the firebox was noted to be cracked, damaged or in need of repair. Further evaluation and proper correction by a CSIA certified chimney sweep is recommended.

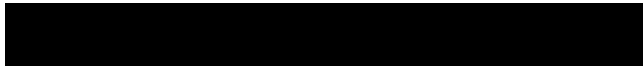
Rating: Location: cracked and deteriorated brick was noted at the base of the firebox.
Summary



A/C

Central air conditioners or permanently installed A/C units are inspected. Window units are typically considered personal property. If any conditions are listed, further evaluation of the air conditioning system is recommended by a qualified contractor.

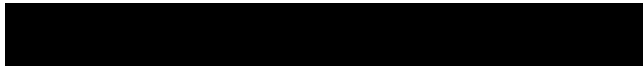
- ACCESS:** This section describes the limitations (if any) of the air conditioning inspection.
- Access:** Restricted
Conditions: **Finished Basement** --- The basement was either partially or fully finished. The foundation could not be fully reviewed or was observed on only a limited basis; defects may be hidden by the finishes.
- UNIT TYPE:** Performance of different air conditioner types varies greatly. Observations are based on comparable units of the same type. Air conditioning systems serviced and inspected by annually by a qualified contractor.
- Type:** Central
Conditions: **Reviewed** --- Items in this category were reviewed and appeared serviceable.
Comments: Two Bryant brand A/C units present. Both units 3 years old, 24,000 BTU. 26 degree temperature drop noted at unit which supplies basement air handler, 16 degree temperature drop noted for unit which supplies attic handler.
Rating: Comment/Information
- EQUIPMENT LOCATION:** All air conditioning equipment should be serviced annually.
- Location:** Exterior
- THERMOSTAT:** Inspection is made of the primary air conditioning thermostat. If more than one, the observations are for typical condition.
- Type:** Electronic
Location: Dining Room, Upper Level Hall
- DUCTS:** Ducts are the air conductors and are often used commonly by heating and air conditioning.
- Type:** Metal And Flexible
Conditions: **Reviewed** --- Items in this category were reviewed and appeared serviceable.
- Filters:** Disposable
Conditions: **Reviewed** --- Items in this category were reviewed and appeared serviceable.
- SPECIFICATIONS:** Air conditioning specifications are listed in this section.
- Manufacturer:** Bryant
Capacity: 24,000 BTU's
- AIR HANDLER:** This section refers to the evaporator coil and blower motor which circulate the cool air of the air conditioning system.
- Location:** Attic, Basement
Conditions: **Reviewed** --- Items in this category were reviewed and appeared serviceable.



Kitchen

If any conditions are listed, further evaluation and correction is recommended by a qualified contractor. Mold, mildew or any other environmental hazard are not part of this inspection.

- ACCESS:** This section covers restrictions (if any) to the kitchen inspection.
- Access:** Restricted
Conditions: **Stored Items Under Sink ---** Stored items were noted under/around the fixture(s) which restrict viewing of all plumbing and related items under and around sink. Conditions may exist which were not observed due to restricted access.
Stored Items --- Access to the area listed above was blocked by personal possessions, furniture, objects, or other items. Defects may exist which were hidden by the stored items. Recommend review when conditions permit.
- EXHAUST FAN:** This section describes the type and function of the kitchen exhaust in use. Filters, if present, should be cleaned and changed periodically for proper operation.
- Type:** Underside of Microwave
Conditions: **Reviewed ---** Items in this category were reviewed and appeared serviceable.
- CABINETS:** This section reports on the type and condition of the cabinets.
- Material:** Wood
Conditions: **Reviewed ---** Items in this category were reviewed and appeared serviceable.
- COUNTERTOP:** Overall condition and type of countertop(s) are noted in this section.
- Material:** Marble/Granite
Conditions: **Reviewed ---** Items in this category were reviewed and appeared serviceable.
- APPLIANCES:** This section reports on the appliances present at the time of the inspection. Maintenance and cleaning of appliances is important for longevity and proper operation.
- Range:** Gas
Conditions: **Reviewed ---** Items in this category were reviewed and appeared serviceable.
- Oven:** Electric
Conditions: **Reviewed ---** Items in this category were reviewed and appeared serviceable.
- Refrigerator:** Side By Side Refrigerator
Conditions: **Reviewed ---** Items in this category were reviewed and appeared serviceable.
- Dishwasher:** Built-in
Conditions: **Reviewed ---** Items in this category were reviewed and appeared serviceable.
- Microwave:** Above Range
Conditions: **Reviewed ---** Items in this category were reviewed and appeared serviceable.
- Disposal:** Undersink Disposal
Conditions: **Reviewed ---** Items in this category were reviewed and appeared serviceable.
- FIXTURES:** This section includes the kitchen(s) fixtures and any bar sink(s) if present. Annual maintenance of fixtures is recommended for proper pressure and drainage.



Sink(s): Double bowl sink
Conditions: **Reviewed** --- Items in this category were reviewed and appeared serviceable.

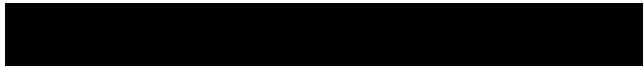
LAUNDRY:

This section includes clothes washer/dryer, and utility sink(s) (if present). If any conditions are listed, evaluation is recommended by a qualified service professional. Cleaning of the clothes dryer lint/discharge line is recommended prior to use.

Washer: Electric
Conditions: **Reviewed** --- Items in this category were reviewed and appeared serviceable.

Dryer: Gas
Conditions: **Reviewed** --- Items in this category were reviewed and appeared serviceable.

Utility Sink(s): Single bowl sink
Conditions: **Reviewed** --- Items in this category were reviewed and appeared serviceable.



Bath

If any conditions are listed, further evaluation and correction is recommended by a qualified contractor. Mold, mildew or any other environmental hazard are not part of this inspection.

ACCESS: This section notes limitations (if any) to inspection of the baths. The most common are water being off and blocked access.

Access: Restricted
Conditions: **Stored Items** --- Access to the area listed above was blocked by personal possessions, furniture, objects, or other items. Defects may exist which were hidden by the stored items. Recommend review when conditions permit.
Stored Items Under Sink --- Stored items were noted under/around the fixture(s) which restrict viewing of all plumbing and related items under and around sink. Conditions may exist which were not observed due to restricted access.

FULL BATH(S):

Tub/Shower: Tub/Shower
Conditions: **Low Water Pressure** --- Low water pressure was noted. This may be due to a clogged aerator, supply valves partially closed, or other reasons. Further evaluation by a qualified plumbing contractor is recommended.
Rating: Location: main level (kitchen level) bathroom tub.
Summary

Fixtures: Vanity/Pedestal Sink(s)
Conditions: **Slow Drain** --- One or more fixtures were slow to drain. Slow drains are commonly due to hair or grease. Slow drains may also be due to improper waste piping or venting. Evaluation of plumbing and vent system is recommended by a qualified plumber.
Rating: Location: main level (kitchen level) bathroom sink.
Summary

Ventilation: None, Fan
Conditions: **No Exhaust Fan** --- No exhaust fan (or operable window) was observed for one or more bathrooms. The addition of a properly installed exhaust fan(s) or operable window(s) to all unvented bathrooms is recommended to control excess levels of humidity and odor.
Rating: Location: no exhaust fan or operable window (with no storm window present) noted at upper level bathroom.
Summary

Toilet: Water tank type
Conditions: **Reviewed** --- Items in this category were reviewed and appeared serviceable.



Interior

Cosmetic deficiencies are typically not reported. If any conditions are listed, further evaluation and correction is recommended by a qualified contractor. Mold, mildew or any other environmental hazard are not part of this inspection.

ACCESS: This section describes any limitations to the inspection. Any home or structure will have limitations if occupied. If any restrictions are noted throughout the report, reinspection may be needed after overcoming the restrictions.

Access: Restricted
Conditions: **Stored Items** --- Access to the area listed above was blocked by personal possessions, furniture, objects, or other items. Defects may exist which were hidden by the stored items. Recommend review when conditions permit.
Limited Attic Access --- The attic(s) had limited access. This may be due to shallow (low pitched) roofs, deep insulation, or other limitation on entry. Therefore, the attic areas were not able to be fully observed or inspected.

FLOORS: Floor covering types and conditions are reported. Cosmetic deficiencies are typically not reported on. Periodic maintenance is typically necessary for most flooring materials for longevity.

Type: Wood, Carpet, Tile
Conditions: **Sloping Floors** --- The floor were observed to be out of level or sloping in one or more locations. This may be due to normal settlement of the structure or other causes. Structural deficiencies can only be determined by a qualified structural engineer.
Rating: Location: typical sloping of floors noted at multiple locations throughout house.
Summary

WALLS: Wall coverings and condition are reported on on a representative basis only. Cosmetic deficiencies are typically not reported on. Typical paint/finish touch-up is recommended as normal maintenance.

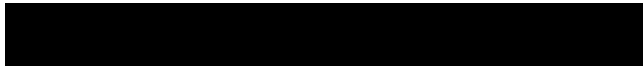
Type: Drywall/Plaster
Conditions: **Typical Cracking/Paint Touch-up** --- Typical cracking and/or paint touch-ups of drywall/plaster surface were noted at one or more locations. Both of these conditions are very common to any drywall/plaster surface and are typically considered cosmetic in nature.
Comments: Typical cracks and paint touch-ups noted at multiple locations.
Rating: Summary

CEILINGS: Ceiling coverings and condition are reported on on a representative basis only. Cosmetic deficiencies are typically not reported on. Typical paint/finish touch-up is recommended as normal maintenance.

Type: Drywall/Plaster
Conditions: **Typical Cracking/Paint Touch-up** --- Typical cracking and/or paint touch-ups of drywall/plaster surface were noted at one or more locations. Both of these conditions are very common to any drywall/plaster surface and are typically considered cosmetic in nature.
Comments: Typical cracks and paint touch-ups noted at multiple locations.
Rating: Summary

DOORS: The interior doors are reported on a representative basis. Cosmetic deficiencies are typically not reported on. Periodic adjustment and paint/finish maintenance may be necessary for proper operation.

Type: Wood/Manufactured Wood



Conditions: **Door Hardware Missing/Damaged** --- The hardware was noted to be missing or damaged at one or more overhead garage doors (or other door types). Repair or replacement (installation) of affected hardware is recommended for proper operation.

Location: missing hardware (pin which holds bi-fold door in track) at upper level east bedroom south closet door.

RAILS/STAIRS:

Rails and Stairs are inspected in this section. Loose or missing stairs/treads can be very hazardous. Stairs and railings should be periodically checked for stability and repaired as necessary if defects are present.

Rails: Handrails

Conditions: **Handrails(s) Low** --- Handrail heights in one or more locations appeared to be low and may present a falling hazard. Recommend further evaluation and raising height of handrails by a qualified contractor.

Location: upper level loft area handrails over stairway.

Rating: Summary

Stairs: Stairs/Steps

Conditions: **Reviewed** --- Items in this category were reviewed and appeared serviceable.

ATTIC:

The attic structure and insulation are inspected (if possible) and reported on.

The attic structure, insulation, and ventilation should be inspected multiple times per year to insure proper ventilation of attic and to prevent moisture build-up.

Roof Framing: Rafters

Conditions: **Attic(s) Inaccessible** --- Attic(s) was not accessible. Access was either not present or discovered, or access was blocked by stored items or other obstruction. The framing, sheathing and insulation (and any other system or component within attic) was therefore not inspected.

Location: garage attic.

Entered Attic(s) --- One or more of the attic areas were reviewed by entering the space.

Limited Attic Access --- The attic(s) had limited access. This may be due to shallow (low pitched) roofs, deep insulation, or other limitation on entry.

Therefore, the attic areas were not able to be fully observed or inspected.

Location: limited access noted throughout upper attic die to very shallow attic area and air handler above upper level east bedroom area. West and north sides of attic were inaccessible.

Rating: Comment/Information

Sheathing: Wood Boards

Conditions: **Reviewed** --- Items in this category were reviewed and appeared serviceable.

Insulation: Fiberglass

Conditions: **Vapor Barrier Incorrect** --- The insulation vapor barrier appeared to be installed incorrectly in one or more areas. Typically the vapor barrier or the paper side faces the heated side of the structure. Correction is recommended to prevent moisture build-up and related issues.

Location: upper level east bedroom south attic area and upper level south hallway SE attic area.

Add On Hatch Cover(s) --- There was little or no insulation on the attic hatch cover (or pull-down stairs, or attic doors). Recommend attic hatch covers (or pull-down stairs or attic doors) be fully insulated to decrease energy loss through the hatch covers.

Rating: Summary



Summary

Exterior

LANDSCAPING

Site

Level

Condition: Grade Above Finish Surface(s)
- The grade or soil was above the level of the finish surfaces or siding. This may promote rotting (if wood is present) and may increase the chance of entry of wood destroying insects. Proper correction is recommended by qualified tradesman.
Location: east side of house at SE porch area.

Condition: Area(s) Of Low Grade - The grade or ground in one or more areas appears to be low, in a wet location, or may be susceptible to water accumulation. Recommend further evaluation of the grade by a qualified landscape professional and correct as necessary.
Location: the house and yard appears to be lower in grade level than neighboring houses to the east or west.

Condition: Underground Drainage System
- An underground drainage/water control system was observed or apparent. These systems can be very complicated and are not able to be evaluated during a typical home inspection.

Summary

Vegetation

Trees

Condition: Threatening Limbs - Tree limbs or vegetation were observed which overhang or contact the overhead electric service wires. This may result in damage to the wires. Proper trimming of the trees or vegetation is recommended by a qualified contractor.

Summary

PAVED AREAS

Steps

Concrete Steps

Condition: Unequal Stair Risers/Treads - One or more of the stairs risers or treads were of a different dimension than the others which may result in an awkward feel when using the stairs and a possible tripping hazard. Further evaluation and correction by a qualified contractor is recommended.

Location: stairwell steps.

Condition: Cracking At Concrete Stairwell
- Cracking and/or settlement was observed at the concrete stairwell walls or slab in one or more locations. Cracking is very

common. Structural deficiency can only be determined by a qualified structural engineer.

Location: NW corner of stairwell.

Summary

Driveway(s)

Asphalt

Condition: Cracking At Asphalt
Driveway(s) - Cracking was observed at asphalt driveway at one or more locations. Cracking of asphalt is typical. Severe cracking or deterioration of asphalt may require repair or replacement of the affected areas.

Location: minor cracking noted at multiple locations.

Summary

SIDING/TRIM

Siding/Masonry

Brick, Stucco, Wood Siding

Condition: Engineer Evaluation
Recommended - Signs of movement, settlement, or possibly inadequate construction was observed in one or more locations. This may adversely affect the building. Further evaluation by a qualified structural engineer is recommended.

Location: deflection was observed at the west wall above the kitchen area. Exact reason for deflection was undetermined. Recommend evaluation of this area by a qualified structural engineer.

Summary

Trim

Wood

Condition: Rotted Wood Trim - Rot was noted at wood trim at one or more locations. Rot is the decay of wood in the presence of moisture and fungi. Recommend further evaluation of all trim and proper correction by a qualified contractor.

Location: rot noted at wood trim at multiple locations throughout exterior of house including multiple locations at wood trim pieces within stucco areas.

Summary

PORCH/DECK/PATIO/BALCONY

Deck

Wood Deck

Condition: Clean and Seal - The wood (decking and any wood handrails, balusters, stairs, treads, and stringers) appears to be in need of cleaning and sealing of as part of normal maintenance.

Summary

WINDOWS

Type

Wood

Condition: Stained - Staining was observed in one or more locations. Recommend further evaluation to determine the source of the stain/staining and correct as necessary. The stained area(s) should be monitored and mold testing should be considered.

Location: staining noted at upper level loft area west wall center window.

Condition: Window Hardware Missing or Damaged - The window hardware was missing or damaged in one or more locations. Missing or damaged hardware may not allow for proper function. Repair further evaluation and correction/replacement of affected hardware by a qualified window contractor. Location: missing lock at living room south wall center/west window.

Condition: Missing Screen(s) - One or more screens were missing from the window openings. Proper replacement of all missing screens is recommended. Location: missing screens at multiple locations throughout house.

Condition: Cracked or Broken Glass - One or more panes of glass were cracked or broken. This is potentially dangerous. Further evaluation of all windows and correction is recommended by a qualified window specialist.

Location: main level SE bedroom south window.

Condition: Adjust Window(s) - One or more windows were either difficult to operate, do not operate smoothly, or are otherwise in need of adjustment. Further evaluation and proper adjustment of windows is recommended by a qualified contractor.

Location: main level NE bedroom east window, and dining room west wall north window. Also, a note was posted at the loft area west wall south window that the window did not function and not to operate window.

Summary

EXTERIOR DOORS

Entry

Wood

Condition: Insufficient Weatherstripping - The weather-stripping around the door(s) does not appear to be sufficient. This may reduce the thermal efficiency of the structure and causes higher energy bills. Recommend installation of additional

weatherstripping for added energy efficiency.

Location: all SE porch area doors.

Condition: Door Adjustment

Recommended - One or more doors do not appear to be operating properly.

Proper adjustment/correction is recommended for ease of operation.

Location: minor adjustment recommended at front entry door.

Summary

Storm Door

Storm/Screen Door

Condition: Adjust Storm Door(s) - One or more of the storm or screen doors are in need of adjustment for proper operation (opening and closing of doors).

Location: adjustment recommended at SE corner porch area east side north storm doors as door were loose.

Summary

GARAGE

Garage

Detached Garage

Condition: Typical Floor Cracking - Floor cracking was observed in one or more locations. This is not unusual and typically does not indicate a structural deficiency. Recommend monitoring and repairing as necessary.

Condition: Rotted Wood Trim - Rot was noted at wood trim at one or more locations. Rot is the decay of wood in the presence of moisture and fungi.

Recommend further evaluation of all trim and proper correction by a qualified contractor.

Location: minor rot noted at wood trim at multiple locations.

Condition: Stained - Staining was observed in one or more locations.

Recommend further evaluation to determine the source of the stain/staining and correct as necessary. The stained area(s) should be monitored and mold testing should be considered.

Location: typical staining noted throughout interior of garage.

Condition: Deteriorated Mortar Joint(s) - Mortar joints were observed to be deteriorated, damaged, or open in one or more locations. This will likely require repair or tuckpointing. Recommend further evaluation and correction by a qualified masonry contractor.

Location: north side of garage.

Summary

Doors

Wood

Condition: Door Spring Safety Cable

Missing - One or more garage door springs

were missing their respective safety cable which contains the spring should the spring fail. These are safety devices. Recommend evaluation and correction of door springs by a qualified garage door specialist.

Summary

Roof

COVERING

Material

Metal

Condition: Rafter Deflection Observed - One or more rafters were observed to have deflection (sagging or bowing). Reason for deflection could not be determined. Recommend further evaluation and correction by a qualified framing contractor or other qualified professional.

Location: east gable roof.

Condition: Moss On Roof - Moss was observed on the roof surface(s) at one or more locations. Moss growth may have adverse effects on the roofing material. Recommend evaluation and correction or cleaning/removal of moss by a qualified contractor.

Location: east side of south gable roof.

Condition: Exposed Fasteners - Exposed fasteners were observed on roof(s) at one or more locations. This may lead to roof leaks over time (if not presently leaking). Recommend further evaluation and correction of exposed fasteners by a qualified roofing contractor.

Location: exposed fasteners noted at multiple locations throughout entire roof.

Summary

OVERHANG

Fascia

Wood

Condition: Rotted Wood Fascia(s) - Rot was fascia was noted in one or more locations. Rot is the decay of wood in the presence of moisture and fungi.

Recommend further evaluation of all trim and proper correction by a qualified contractor.

Location: rot noted at wood fascia at multiple locations throughout exterior of house.

Summary

FLASHING

Type

Metal

Condition: Flashing(s) Improperly Installed - The flashing(s) were observed to be improperly installed in one or more locations. Improperly installed flashings may lead to leaks or water penetration. Recommend further evaluation of flashings by a qualified contractor and correct as necessary.

Location: at metal vent at north side of roof just east of NE roof valley.

Summary

DRAINAGE

Gutters

Aluminum

Condition: Bird/Animal Nest - Bird or animal nest(s) were observed at one or more locations. Further evaluation by a qualified animal control specialist is recommended to determine occupancy of nest(s) and properly remove nest(s) and animal(s) if present.

Location: north side of house above basement stairwell.

Summary

SKYLIGHTS

Type

Glass Skylight

Condition: Lost Seal(s) At Skylight(s) - One or more skylights were observed to have "lost seals", in which air leaks into the sealed glass and causes fogging or condensation to form between the panes of glass. Replacement of the glazing unit(s) is the typical correction for this.

Summary

Structure

FOUNDATION

Type

Basement, Crawlspace

Condition: Epoxy Grouted Cracks - One or more cracks appeared to have been professionally sealed/grouted with epoxy (or other sealing method). This type of repair is usually very successful in stopping water infiltration. Recommend monitoring and repair as needed.

Location: basement laundry room area west wall.

Summary

Electrical

SERVICE

Type

Overhead

Condition: Threatening Limbs - Tree limbs or vegetation were observed which overhang or contact the overhead electric service wires. This may result in damage to the wires. Proper trimming of the trees or vegetation is recommended by a qualified contractor.

Summary

MAIN PANEL

Type

Breaker

Condition: Double Tap(s) - One or more breakers or fuses were double tapped (having two or more wires connected to one circuit). Further evaluation and correction is recommended by a qualified electrician. Numerous double taps may indicate the panel should be upgraded.

Location: one double tap noted in panel.

Summary

BRANCH WIRING

Type

Conduit, BX, Romex

Condition: Abandoned Wiring - Abandoned wires, wire sheathing, or conduit were observed at one or more locations. Further evaluation of apparently abandoned wires is recommended by a qualified electrician and remove as necessary.

Location: exterior east side of house south of A/C units.

Condition: Open Junction Box - One or more junction boxes (electrical connection boxes) were noted without a proper cover. This may create a potential safety hazard. Covering of all open junction boxes is recommended with a proper fitting cover.

Location: basement furnace room ceiling above boiler.

Condition: Romex Not In Conduit - Plastic sheathed wiring (Romex) was noted in one or more areas. This type of wiring is typically not allowed for use in this area. Recommend further evaluation of the electrical branch system by a qualified electrician and correct/repair as necessary.

Location: basement furnace room ceiling just west of boiler.

Condition: Surface Mounted Electric Raceway - Surface-mounted electric channel was present in one or more locations. This type of wiring can be used in certain conditions however is not a typical installation. Recommend evaluation by a qualified electrician for information and repair solutions.

Location: upper level east bedroom north and east walls and upper level loft area west and south walls.

Summary

ELECTRICAL COMPONENTS

Fixtures

Fixtures

Condition: Lights Not Functional - One or more of the light fixtures were observed to be non-functional. This likely indicates that the bulbs will require replacement.

However, other corrective measures may be required.

Location: basement stairwell steps.

Condition: Light/Fan In Shower - One or more lights or exhaust fans were installed within the shower/tub surround area. This is not a typical installation. Recommend evaluation by a qualified electrician and possible relocation outside of the shower/tub surround.

Location: basement bathroom.

Summary

Smoke/CO

Condition: No CO Detector Present - No carbon monoxide (CO) detectors were observed. Illinois State law requires at least one operable CO detector installed within 15 feet of each bedroom on most residences with few exceptions. Proper installation of CO detector(s) is recommended.

Summary

Plumbing

SUPPLY PIPING

Piping Mat

Copper

Condition: Abandoned Piping - Appeared to be abandoned plumbing (supply or waste lines) or equipment in one or more locations. Evaluation (and verification) of abandoned piping/equipment is recommended by a qualified plumbing contractor. Removal may be required.

Location: garage SE corner.

Condition: Saddle Valve Present - One or more "saddle valves" were present.

Saddle valves are typically self-tapping valves held in place with clamps and are typically not allowed for use in this area. Recommend evaluation by a qualified plumbing contractor.

Location: basement furnace room ceiling south of water heater.

Condition: Hose Bibb Shut Off - One or more of the outside hose bibbs (garden hose spigots) was shut off, disconnected, or otherwise non-functional when tested.

Recommend further evaluation of hose bibbs by a qualified plumbing contractor to determine proper operation of hose bibbs.
Location: east side of house.

Summary

Heating

HYDRONIC

Boiler

Condition: Flue Gap at Chimney - The gap or opening where the metal flue enters the chimney should be properly grouted or sealed to prevent the possible backdrafting of flue gas into the building.

Location: a large gap was present between the flue and the chimney at the north wall of the basement furnace room.

Comments: Boiler was Crown brand, 210,000 BTU.

Summary

Distribution

Radiator

Condition: Possible Asbestos - Insulation/material was observed which may possibly contain asbestos. Further evaluation of the home/structure and testing of any material in question is recommended by a qualified specialist. Encapsulation/removal may be necessary.

Location: possible asbestos observed at the east side of the upper level east bedroom south closet/attic area.

Condition: Heat Operation Not Verified - The heating system was off during the inspection and operation of individual heating units was not able to be verified during the inspection. Further evaluation by a qualified contactor and testing of heating system is recommended.

Summary

FIREPLACE(S)/STOVE(S)

Fireplace

Masonry

Condition: Firebox Repairs Recommended - The interior of the firebox was noted to be cracked, damaged or in need or repair. Further evaluation and proper correction by a CSIA certified chimney sweep is recommended.

Location: cracked and deteriorated brick was noted at the base of the firebox.

Summary

Bath

FULL BATH(S)

Tub/Shower

Tub/Shower

Condition: Low Water Pressure - Low water pressure was noted. This may be due to a clogged aerator, supply valves partially closed, or other reasons. Further evaluation by a qualified plumbing contractor is recommended.

Location: main level (kitchen level) bathroom tub.

Summary

Fixtures

Vanity/Pedestal Sink(s)

Condition: Slow Drain - One or more fixtures were slow to drain. Slow drains are commonly due to hair or grease. Slow drains may also be due to improper waste piping or venting. Evaluation of plumbing and vent system is recommended by a qualified plumber.

Location: main level (kitchen level) bathroom sink.

Summary

Ventilation

None

Fan

Condition: No Exhaust Fan - No exhaust fan (or operable window) was observed for one or more bathrooms. The addition of a properly installed exhaust fan(s) or operable window(s) to all unvented bathrooms is recommended to control excess levels of humidity and odor. Location: no exhaust fan or operable window (with no storm window present) noted at upper level bathroom.

Summary

Interior

FLOORS

Type

Wood, Carpet, Tile

Condition: Sloping Floors - The floor were observed to be out of level or sloping in one or more locations. This may be due to normal settlement of the structure or other causes. Structural deficiencies can only be determined by a qualified structural engineer.

Location: typical sloping of floors noted at multiple locations throughout house.

Summary

WALLS

Type

Drywall/Plaster

Condition: Typical Cracking/Paint Touch-up - Typical cracking and/or paint touch-ups of drywall/plaster surface were noted at one or more locations. Both of these conditions are very common to any

drywall/plaster surface and are typically considered cosmetic in nature.

Comments: Typical cracks and paint touch-ups noted at multiple locations.

Summary

CEILINGS

Type

Drywall/Plaster

Condition: Typical Cracking/Paint Touch-up - Typical cracking and/or paint touch-ups of drywall/plaster surface were noted at one or more locations. Both of these conditions are very common to any drywall/plaster surface and are typically considered cosmetic in nature.

Comments: Typical cracks and paint touch-ups noted at multiple locations.

Summary

RAILS/STAIRS

Rails

Handrails

Condition: Handrails(s) Low - Handrail heights in one or more locations appeared to be low and may present a falling hazard. Recommend further evaluation and raising

height of handrails by a qualified contractor.

Location: upper level loft area handrails over stairway.

Summary

ATTIC

Insulation

Fiberglass

Condition: Vapor Barrier Incorrect - The insulation vapor barrier appeared to be installed incorrectly in one or more areas. Typically the vapor barrier or the paper side faces the heated side of the structure. Correction is recommended to prevent moisture build-up and related issues.

Location: upper level east bedroom south attic area and upper level south hallway SE attic area.

Condition: Add On Hatch Cover(s) -

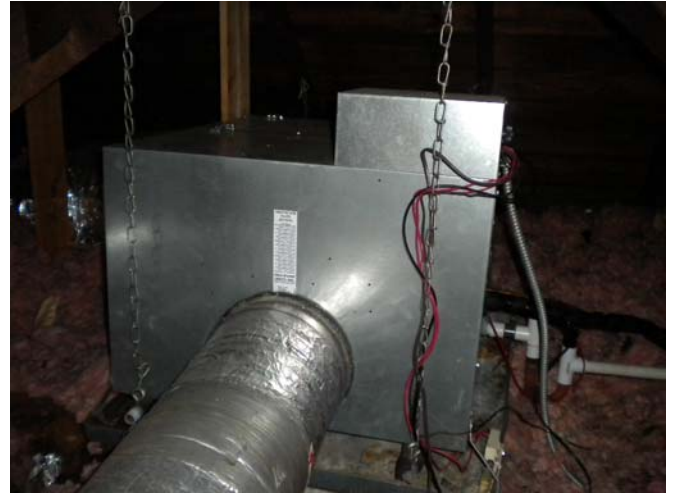
There was little or no insulation on the attic hatch cover (or pull-down stairs, or attic doors). Recommend attic hatch covers (or pull-down stairs or attic doors) be fully insulated to decrease energy loss through the hatch covers.

Summary

Photo Appendix



Abandoned piping in garage



Attic air handler



Abandoned wiring



Attic insulation



A/C units



Basement air handler





Birds nest



Crawlspace



Boiler



Damaged brick in fireplace



Cracking at stairwell



Deck

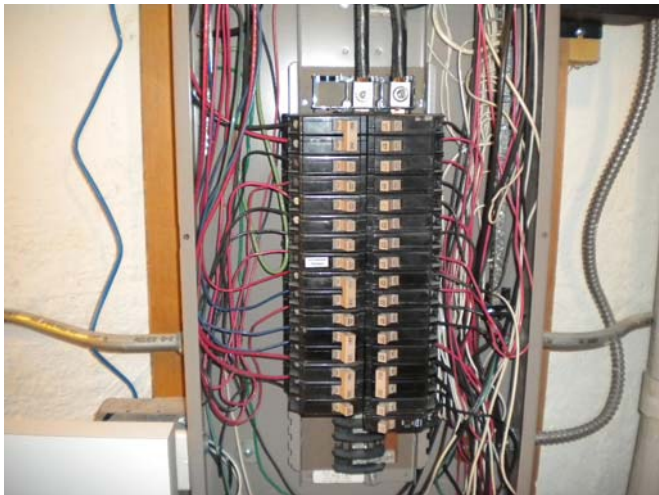




Deflection at west wall



Exposed electric raceway



Electric panel



Fireplace



Epoxy grouted foundation crack



Flashing improper





Flue gap at chimney



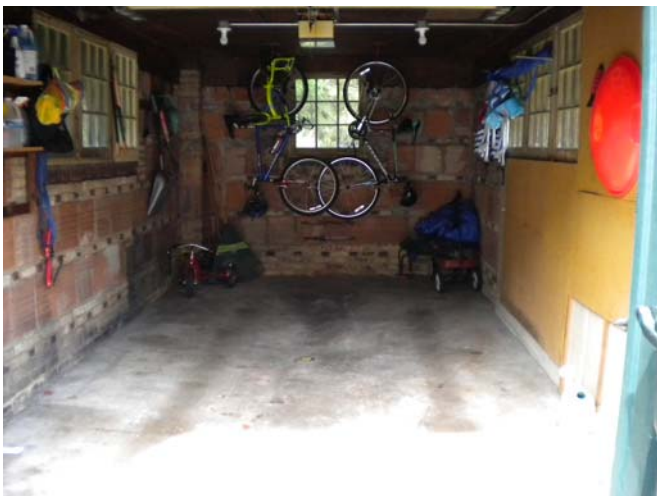
Grade above finished material



Garage tuckpointing



Moss on roof



Garage



Open junction box





Patio



Romex wire



Possible asbestos material



Roof



Rafter deflection



Roof sheathing





Roof



Rotted fascia



Rot at garage trim



Rotted trim



Rot at wood fascia



Rotted wood trim





Rotted wood trim



Rotted wood trim



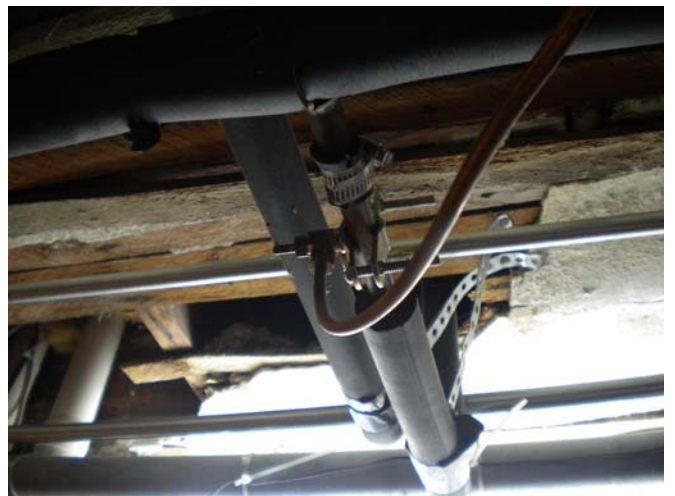
Rotted wood trim



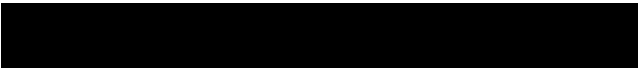
Rotted wood trim



Rotted wood trim



Saddle valve in basement





Staining on window



Wall out of plumb



Uneven stairwell steps



Water heater

